

Home Inspection Report



123 Main Street , Kitty Hawk, NC 27949

Inspection Date:

Monday, January 1, 2018

Prepared For:

John Doe

Prepared By:

Sandbar Home Inspection

PO Box 83

Corolla, NC 27927

2524550410

Report Number:

2883



Inspector:

Ben Watson

License/Certification #:

4375

Inspector Signature:

Report Overview

Scope of Inspection

All components designated for inspection in accordance with the North Carolina Home Inspections Standards of Practice. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

Main Entrance Faces

South

State of Occupancy

Occupied

Weather Conditions

Sunny - 85 degrees Farenheight

Rain In Previous 72 Hours

None

Ground Cover

Dry

Approximate Age

41 years old

Report Summary

This summary is not the entire report. The complete report may include additional information of interest or concerns to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or attorney.

Potential Safety Hazards

Risers at the lower end of W deck stairs are not uniform. Fall hazard

W railing at deck is loose. Fall hazard

Loose railing at the NE corner of S end of deck. Fall hazard

Improvement Items

Driveway had cracking that indicated settlement at multiple locations

No ledger board installed at S deck system only.

Improper fasteners used for the piling/rim joist connection points throughout the w end of deck system, with the WSW corner rim joist no longer fully bearing on the notch

Posts at railings throughout the deck system are not properly secured at the joist connection point

Improper fasteners used for W deck stair support posts.

No visible flashing present at connection point between NE corner of S deck and home

Cap flashing is damaged at multiple locations at areas installed above ledger board at the W deck only.

Risers at the lower end of W deck stairs are not uniform. Fall hazard

W railing at deck is loose. Fall hazard

Loose railing at the NE corner of S end of deck. Fall hazard

Negative grade at the N and E exterior, with yard pitched towards the home

Tree limbs at the N exterior in close proximity to the exterior siding.

NE corner Downspout terminates at the base of the home

Deterioration present at some areas of siding system

Siding at E exterior is in contact with soil at multiple locations

No flashing installed above the upper edge of ground floor SSE exterior siding.

Z flashing not installed at the upper edges of trim above horizontal trim, windows and doors at the exterior.

Improper fasteners used for the piling/girder connection points supporting the top floor S porch roof system

Some rim joists under the s end of top floor porch are bowed

Report Summary

Improvement Items

Open gap between the top floor w central exterior door and frame, allowing exterior air to penetrate.

Buildup of organic debris at condenser fins throughout exterior AC condenser 2

Dishwasher drain line was not looped under sink in kitchen

Open gap at the upper edge of plate over trip lever at tub in bathroom (1)

Improper trap design under sink in bathroom (2)

Toilet bowl was loose in bathroom (2)

Drairage at sink was marginal in bathroom (3)

Handrails at interior stairs had an improper design..

Scuttlehole access hatch was not large enough leading to attic space

Exhaust duct from top floor NW bathroom fan terminates into attic.

ABS plumbing used for DWV is exposed to direct sunlight at ground floor NNW exterior

Sump discharge pipe is improperly installed at N exterior

Expansion tank not installed at the topside of water heater

Temperature pressure relief valve is not installed at water heater

Rust observed at the base of water heater

Breaker installed at the lower E corner of main panel is not designed/comparable to be used with this brand of panel.

Filter at mini Split Had a buildup of debris.

Lower locking mechanism at the more W French door in living room (2) did not lock into place.

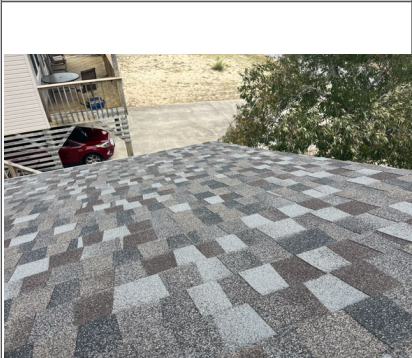
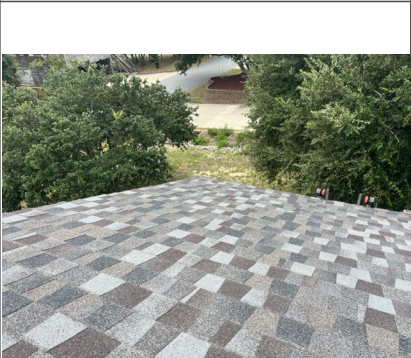
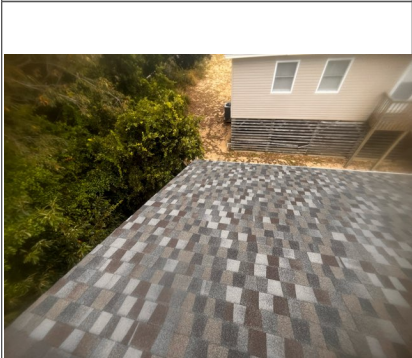
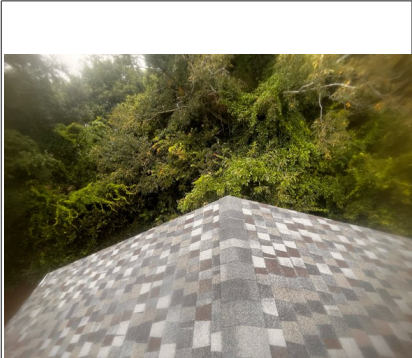
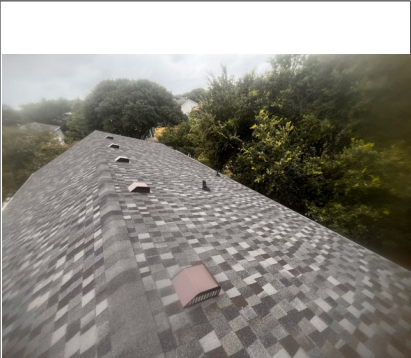
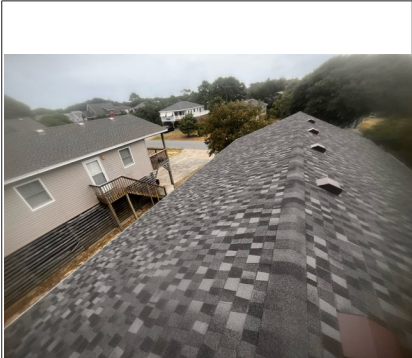
Damage at the base of more W door at S wall in living room (2)

Items Not Operating

Roof

General

Visibility ☒ All
Inspected From ☒ Roof
Photos



Style of Roof

Type ☒ Gable
Pitch ☒ Medium
Roof #1 Type:Archetectural grade asphalt shingles
Layers:1
Age:Less than 5 years old

Ventilation System

Type ☒ Soffit ☒ Roof

Photos



Flashing

Material ☒ Galv/Alum
Condition ☒ Satisfactory

Photos

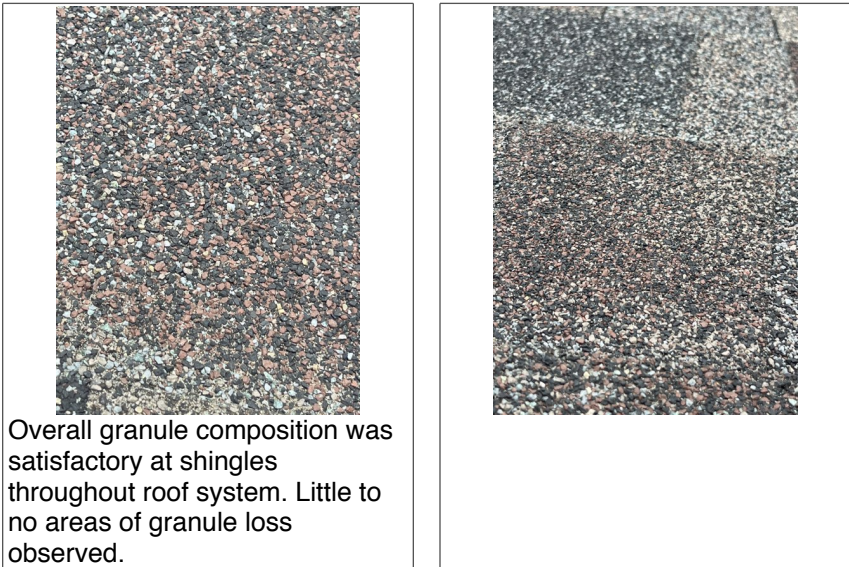


Valleys

Condition of Roof Coverings

Roof #1 ☒ Satisfactory

Photos



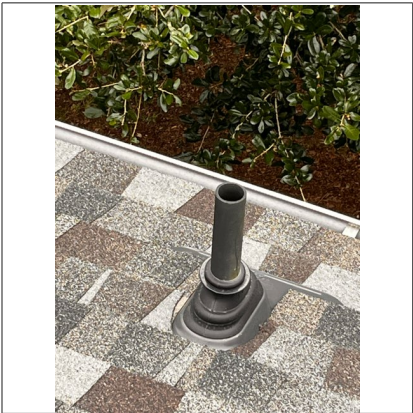
Roof

Skylights

Plumbing Vents

Condition ☒ Satisfactory

Photos



Grounds

Driveway/Parking

Material ☒ Concrete

Condition ☒ **Marginal** ☒ Settling Cracks

Photos



Driveway had cracking that indicated settlement at multiple locations. No areas presented a trip hazard at the time of inspection. Recommend a licensed concrete installation professional should evaluate condition of driveway and make any necessary corrective actions.



Porch

Condition ☒ **Satisfactory**

Support Pier ☒ Wood

Floor ☒ **Satisfactory**

Patio

Deck

Material ☒ Wood

Condition ☒ **Marginal**

Finish ☒ Treated ☒ **Safety Hazard** ☒ Improper attachment to house ☒ Railing loose

Photos



No ledger board installed at S deck system only. A ledger board is essential in the connection between deck/home. Current installation has the floor joists and ledger strip connected to the band joist only. A licensed deck repair professional should evaluate for installation of a ledger board at this location.



Improper fasteners used for the piling/rim joist connection points throughout the W end of deck system, with the WSW corner rim joist no longer fully bearing on the notch. Generally accepted safe building practices recommend all connections of this type be done so with bolts or lag screws as the fastener for enhanced stability. Current orientation has nails used as the only fasteners, which can lead to joists moving from the notched piling. A licensed deck professional should evaluate for any necessary corrective actions to ensure rim joist connections remain secure.



Posts at railings throughout deck system are not properly secured at the joist connection point. Generally accepted safe building practices recommend lag bolts, thru bolts, or carriage bolts be used to secure the posts for railings. It in its current orientation, nails only are being used. Recommend a licensed repair professional evaluate for any necessary corrective actions to ensure safe continued usage of the railing system throughout deck.



Improper fasteners used for W deck stair support posts. Generally accepted safe building practices recommend these connection be made with bolts of lag screws at 4"x4" posts that sit flush with the stringer, if not carried through to the railing. Current installation has nails only installed. For enhanced stability at these areas, a licensed deck professional should evaluate supports and make any necessary corrective actions.



No visible flashing present at the connection point between the NE corner of S deck system and home. To ensure moisture cannot penetrate at this location, a licensed deck repair professional should evaluate area and determine if additional corrective actions are necessary



Cap flashing is damaged at multiple locations at areas installed above ledger board at the W deck only. This flashing ensures moisture cannot sit against the the home. To restore originally intended functionality, a licensed deck professional should evaluate cap flashing throughout this deck and make any necessary corrective actions



Risers at the lower end of W deck stairs are not uniform. Fall hazard. Generally accepted safe building practices recommend all riser heights be uniform, to ensure occupants can safely use stairs. Current installation has a 3" disparity between the lowest riser and the next riser above. A licensed deck professional should evaluate riser heights for reconfiguration at this location



W railing at top floor deck was loose. Fall hazard. A licensed deck repair professional should evaluate and make any necessary corrective actions ensure safe usage of the railing at this location

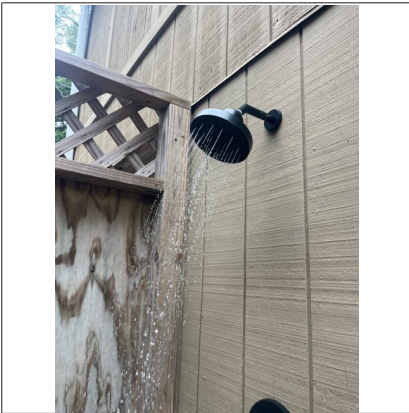


Loose railing at the NE corner of top floor S deck. Fall hazard. A licensed deck repair professional should evaluate and make any necessary corrective actions to ensure safe usage of the railing at this location

Outdoor Shower

Condition ☒ Satisfactory

Photos



Fence/Wall

Landscaping

Negative Grade ☒ East ☒ North

Photos



Negative grade at N and E exterior, with the yard pitched towards the home. A sump is currently installed at the N exterior. No signs of damage or moisture penetration at interior N or E exterior walls. To ensure moisture cannot penetrate at these locations, a licensed landscape professional should evaluate grading around home and determine if additional corrective actions are recommended



While not currently in contact, tree limbs at N exterior are in close proximity to the exterior siding. When in contact, tree limbs trap moisture and can cause deterioration. A licensed landscape professional should prune back tree limbs at this location

Retaining wall

Hose bibs

Condition ☒ Satisfactory
Operable ☒ Yes

Exterior

Chimney(s)

Gutters/Scuppers/Eavestrough

- Condition ☒ Satisfactory
Material ☒ Galvanized/Aluminum
Leaking ☒ No apparent leaks
Attachment ☒ Satisfactory
Extension needed ☒ N/A
Photos



Due to the negative grade, NE corner Downspout terminates at the base of the home. While an extender is currently installed, it likely terminates runoff that pools against the home. A licensed gutter technician should evaluate termination point to be extended.



Exterior

Siding

Material

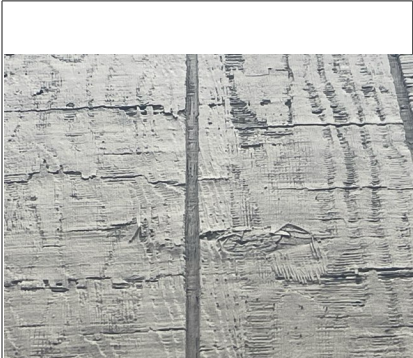
☒ Wood

☒ Wood rot

Condition

☒ Marginal

Photos

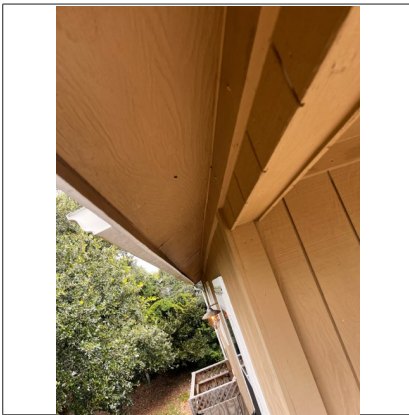


Deterioration present at some areas of siding system, with a higher concentration of these areas at the W and N exteriors. While some sections of siding have been previously replaced, sections that have not appear to be nearing an end to their typical useful lifespans. To ensure moisture cannot penetrate at these areas of siding, a licensed siding professional should evaluate condition of all siding and repair/replace as needed



Siding at E side exterior is in contact with soil at multiple locations. This can trap moisture against siding and reduce its useful lifespan. It is recommend 4-6" of clearence between initial row of siding and the ground. A licensed landscape professional should evaluate for any necessary corrective actions to extend useful lifespan of the siding at these locations.

Trim		
Material	<input checked="" type="checkbox"/> Wood	<input checked="" type="checkbox"/> Pvc
Condition	<input checked="" type="checkbox"/> Satisfactory	

Photos**Soffit****Material** ☒ Wood**Condition** ☒ Satisfactory**Photos****Fascia****Material** ☒ Wood**Condition** ☒ Satisfactory**Photos****Flashing****Material** ☒ Aluminum/Steel**Condition** ☒ Marginal

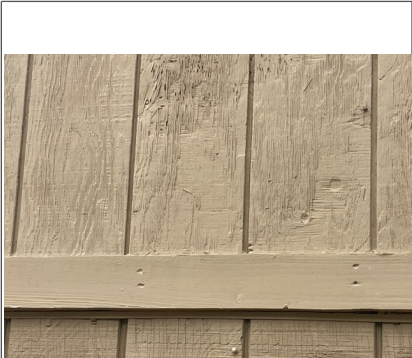
Photos



No flashing installed above the upper edge ground floor SSE exterior siding. To ensure moisture cannot penetrate at this location, a licensed general contractor should evalaute and make any necessary corrective actions



"Z" Flashing not installed at the upper edges of trim above horizontal trim, windows and doors at the exterior. To ensure moisture cannot penetrate and these upper edges, a licensed repair professional should evaluate condition at these edges and consider adding this flashing where neccesary as an upgrade



Caulking

Condition ☒ Marginal

Foundation

Foundation ☒ 8"x8" pilings

Condition ☒ Satisfactory

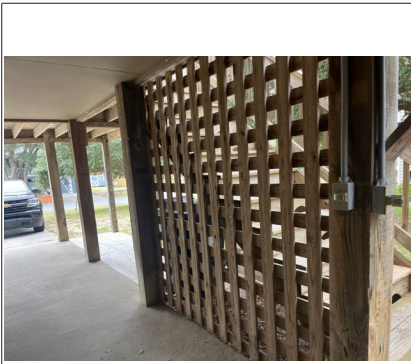
Foundation Wall ☒ Concrete block

Photos



Improper fasteners used for the piling and girder connection points supporting top floor S porch roof system. Generally accepted safe building practices recommend all connections of this type be done so with bolts or lag screws as the fastener for enhanced stability. Current orientation has nails used as the only fasteners at some of these locations, which can lead to joists moving from the notched piling. A licensed repair professional should evaluate for any necessary corrective actions to ensure rim joist/girder connections remain secure.





Some rim joists under the S end of top floor porch are bowed, and are no longer fully bearing onto notched pilings. To ensure these joists are able to continue to function as designed, a licensed general contractor should evaluate their condition and make any necessary corrective actions



Service Entry and Exterior Electrical

Location ☒ Underground

Condition ☒ Satisfactory

Exterior receptacles ☒ Yes Operable: ☒ Yes Condition: ☒ Satisfactory

GFCI present ☒ Yes Operable: ☒ Yes

Building(s) Exterior Wall Construction

Type ☒ Not Visible

Condition ☒ Not Visible

Carport Underpinning

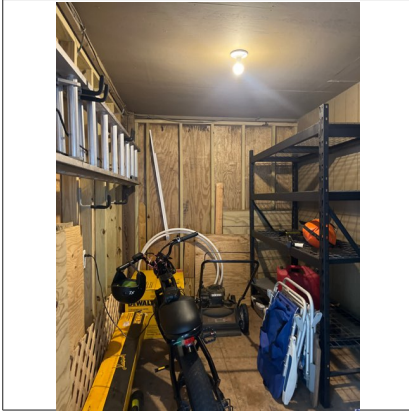
Type ☒ Framed

Condition ☒ Satisfactory

Exterior Storage Room

Type ☒ Framed

Condition ☒ Satisfactory

Photos**Exterior Doors**

Main Entrance Weatherstripping: ☒ Marginal Door condition: ☒ Satisfactory

Patio ☒ N/A

Rear door ☒ N/A

Other door Weatherstripping: ☒ Satisfactory Door condition: ☒ Satisfactory

Photos

Open gap between top floor W central exterior door and frame, allowing exterior air to penetrate. For enhanced HVAC efficiency and to restore seal around door, a licensed repair professional should evaluate door/weatherstripping and make any necessary corrective actions

Exterior A/C - Heat pump #1

Unit #1 Location: Ground floor NW corner exterior
 Brand: Daikin
 Model #: DZ14SA0241KE
 Serial #: 2107719527
 Approximate Age: 4 years old

Condition ☒ Satisfactory

Energy source ☒ Electric

Unit type ☒ Heat pump

Outside Disconnect ☒ Yes

Level ☒ Yes

Exterior

Exterior A/C - Heat pump #1 cont.

Condenser Fins ☒ Satisfactory

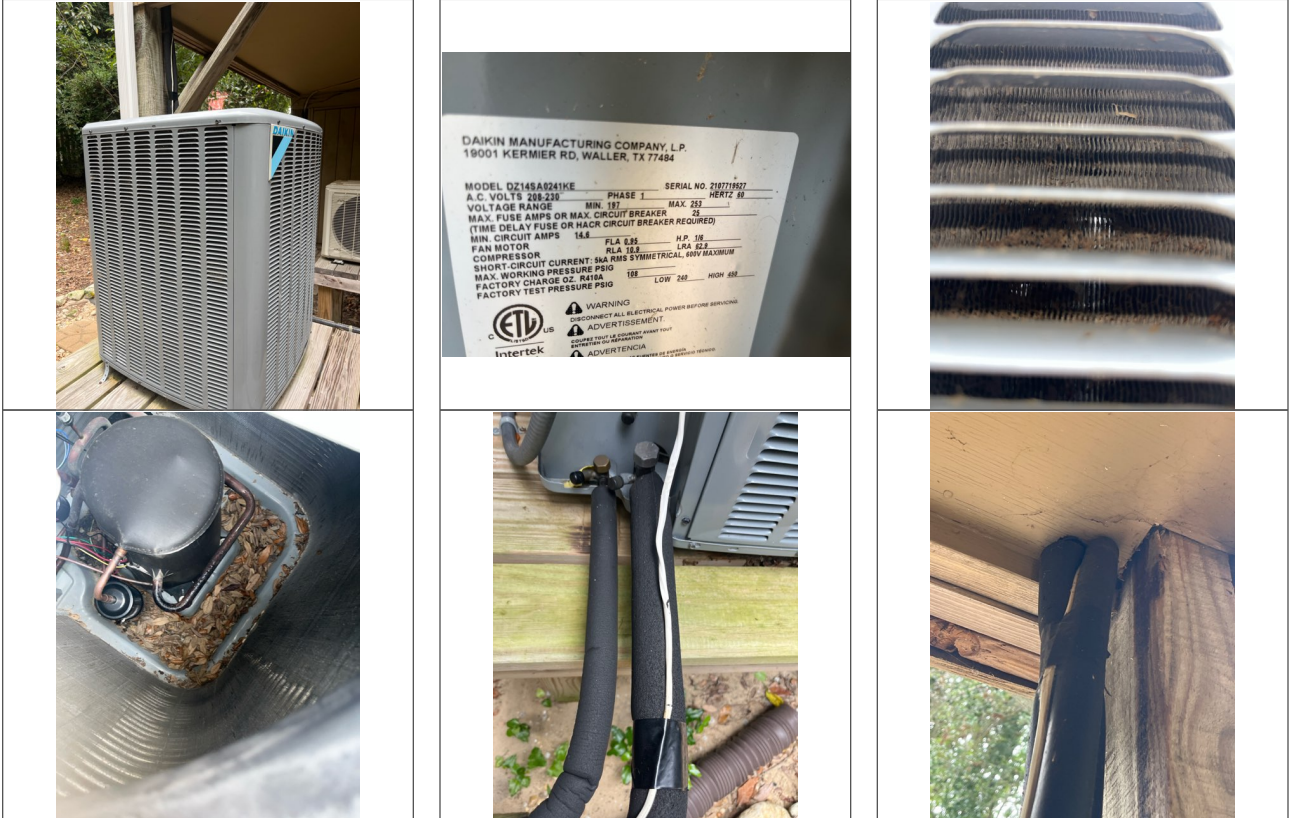
Insulation ☒ Yes

Improper Clearance (air flow) ☒ No

Comments Unit was tested in cooling mode only at the time of inspection. Heat mode was not tested. Heat mode could not be tested without damaging the unit, due to exterior temperatures.

Unit operated in a satisfactory manner at the time of inspection

Photos



Exterior A/C - Heat pump #2

Unit #2 Location: Under home at NNW exterior

Brand: DuctlessAire

Model #: DA1221-H2-0

Serial #: 340A948220107170120142

Approx. Age: Unknown

Energy source ☒ Electric

Unit type ☒ Heat pump

Outside Disconnect ☒ Yes

Level ☒ Yes

Condenser Fins ☒ Satisfactory

Insulation ☒ Yes

Condition ☒ Marginal

Improper Clearance (air flow) ☒ No

Comments Unit was tested in cooling mode only at the time of inspection. Heat mode was not tested. Heat mode could

Exterior

Exterior A/C - Heat pump #2 cont.

Comments cont. not be tested without damaging the unit, due to exterior temperatures.


Unit operated in a satisfactory manner at the time of inspection

Photos

A photograph of a white outdoor air conditioning unit mounted on a wooden deck. The unit has a large circular fan grille on the front and a condenser coil on the side. A white PVC pipe runs along the wall above the unit.


A close-up photograph of the condenser fins of the A/C unit. The fins are heavily covered with a thick layer of brown, fibrous organic debris, likely mold or mildew, which is obscuring the metal fins.


Buildup of organic debris at condenser fins throughout unit. This negatively affects efficiency and can reduce the useful lifespan of the unit. To ensure originally intended efficiency, an HVAC technician should evaluate for any necessary corrective actions.

A photograph of the manufacturer's label on the A/C unit. The label is titled 'SPLIT TYPE AIR CONDITIONER' and contains technical specifications. The text on the label includes: INDOOR MODEL DA1221-H2-I, OUTDOOR MODEL DA1221-H2-O, POWER SOURCE 208/230V~ 60Hz, 1Ph, DESIGN PRESSURE Hi 550 PSIG, Lo 340 PSIG, REFRIGERANT R410A(40.6ozs), INDOOR/OUTDOOR FAN MOTOR LOAD 0.25A/0.4A, COMPRESSOR LOAD 6.8A, and INDOOR/OUTDOOR MINIMUM CIRCUIT AMPERES 15.0/15.0.

DA1221-H2-0

A close-up photograph of the condenser fins, showing a dense accumulation of dark, crumbly organic debris and leaves trapped between the metal fins.

A photograph of a white label with a barcode and a serial number. The serial number is SN: 340A948220107170120142. Below the serial number is a UPC barcode with the number 8 61315 00030 3.

A close-up photograph of the condenser fins, showing a dense accumulation of dark, crumbly organic debris and leaves trapped between the metal fins.



Kitchen (1)

Countertops

Condition ☒ Satisfactory

Photos



Cabinets

Condition ☒ Satisfactory

Plumbing

Faucet Leaks ☒ No

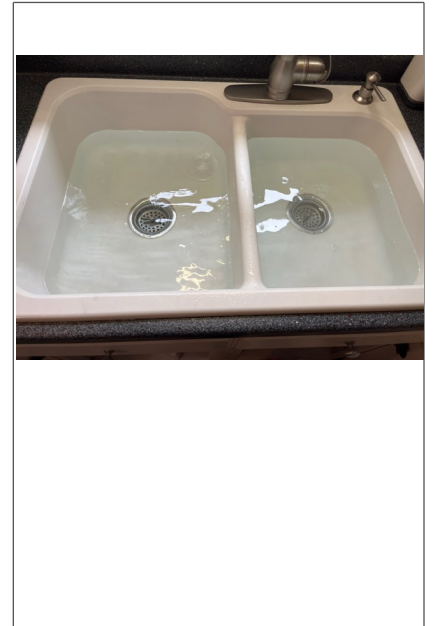
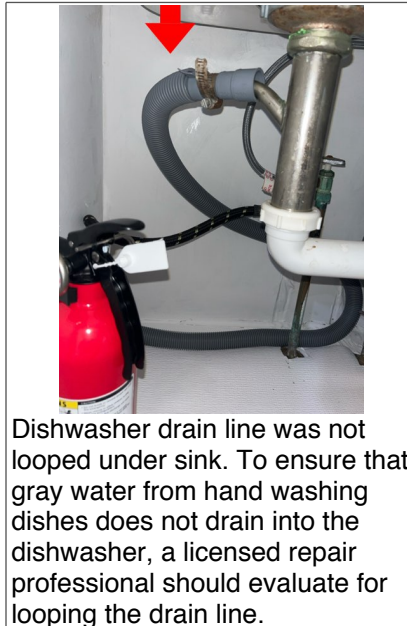
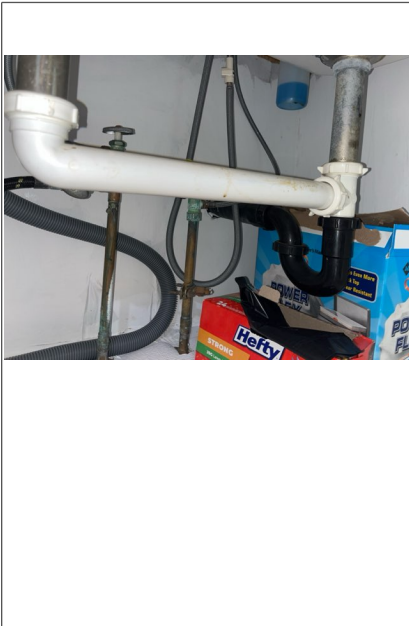
Pipes leak/corroded ☒ No

Sink/Faucet ☒ Satisfactory

Functional drainage ☒ Satisfactory

Functional flow ☒ Satisfactory

Photos



Walls & Ceiling

Condition ☒ Satisfactory

Photos**Windows****Condition** ☒ Satisfactory**Heating/Cooling Source**☒ Yes**Floor****Condition** ☒ Satisfactory**Appliances****Disposal** ☒ N/A**Oven** Operable: ☒ Yes**Range** Operable: ☒ Yes**Dishwasher** Operable: ☒ Yes**Trash Compactor** ☒ N/A**Exhaust fan** Operable: ☒ Yes**Refrigerator** Operable: ☒ Yes**Microwave** Operable: ☒ Yes**Other** Operable: ☒ No**Dishwasher airgap** ☒ No**Dishwasher drain line looped** ☒ Yes**Receptacles present** ☒ Yes Operable: ☒ Yes**GFCI** ☒ Yes Operable: ☒ Yes Recommend GFCI Receptacles: ☒ No**Open ground/Reverse polarity:** ☒ No**Comments** .**Photos**

Laundry Room (1)

Laundry

Laundry sink ☒ N/A

Faucet leaks ☒ N/A

Pipes leak ☒ N/A

Cross connections ☒ No

Heat source present ☒ No

Room vented ☒ Yes

Dryer vented ☒ Wall

Electrical Open ground/reverse polarity: ☒ No

GFCI present ☒ No ☒ Recommend GFCI Receptacles

Appliances ☒ Washer ☒ Dryer

Washer hook-up lines/valves ☒ Satisfactory

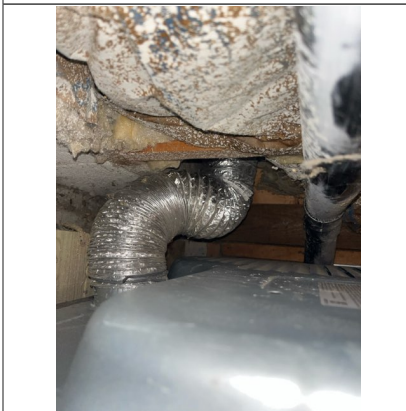
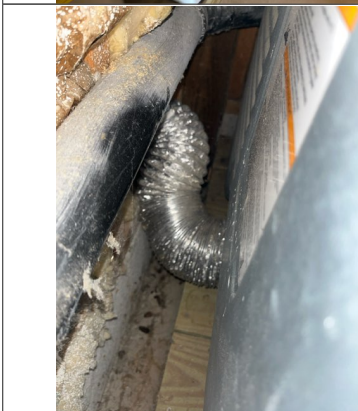
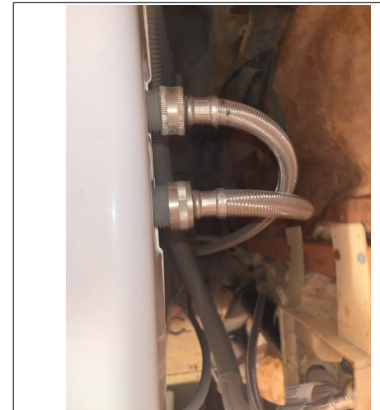
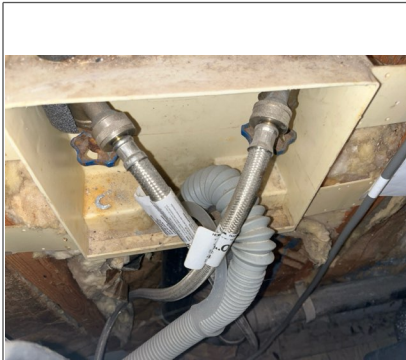
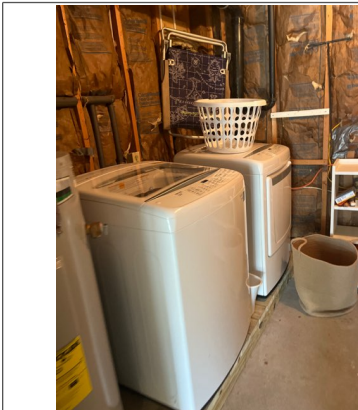
Gas shut-off valve ☒ N/A

Comments

Dryer was tested and operated in a satisfactory manner.

Washer was not tested or operated.

Photos



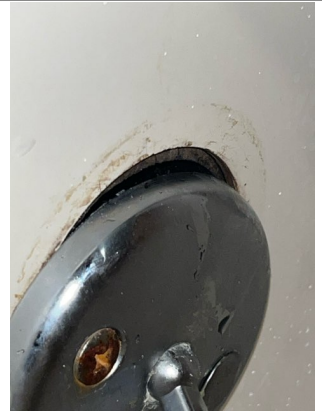
Bathroom (1)

Bath

Location Top floor, off hallway
Sinks Faucet leaks: ☒ No Pipes leak: ☒ No
Tubs Faucet leaks: ☒ No Pipes leak: ☒ Not Visible
Showers Faucet leaks: ☒ No Pipes leak: ☒ Not Visible
Toilet Bowl loose: ☒ No Operable: ☒ Yes
Whirlpool ☒ No
Shower/Tub area ☒ Fiberglass Condition: ☒ Satisfactory Caulk/Grouting needed: ☒ No
Drainage ☒ Satisfactory
Water flow ☒ Satisfactory
Moisture stains present ☒ Yes
Doors ☒ Satisfactory
Window ☒ None
Receptacles present ☒ Yes Operable: ☒ Yes
GFCI ☒ Yes Operable: ☒ Yes
Open ground/Reverse polarity ☒ No
Heat source present ☒ Yes
Exhaust fan ☒ Yes Operable: ☒ Yes
Photos



Staining at flooring around toilet. No moisture detected via moisture meter at these locations at the time of inspection. Recommend monitoring staining for any change in appearance or condition to ensure moisture cannot actively leak at this location

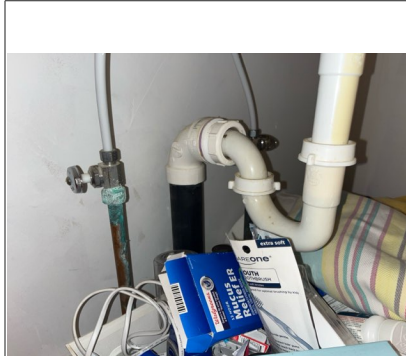


Open gap at the upper edge of plate over trip lever at tub. To ensure moisture cannot penetrate at this location during typical shower/tub usage, a licensed repair professional should evaluate and make any necessary corrective actions

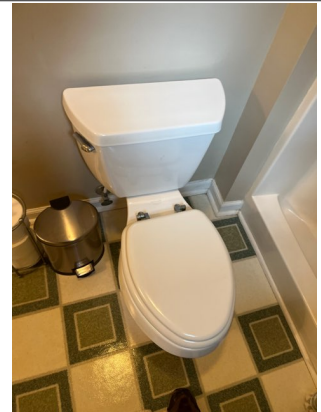
Bathroom (2)

Bath

Location Top floor, off N bedroom
Sinks Faucet leaks: ☒ No Pipes leak: ☒ No
Tubs ☒ N/A
Showers Faucet leaks: ☒ No Pipes leak: ☒ Not Visible
Toilet Bowl loose: ☒ Yes Operable: ☒ Yes
Whirlpool ☒ No
Shower/Tub area ☒ Fiberglass Condition: ☒ Satisfactory Caulk/Grouting needed: ☒ No
Drainage ☒ Satisfactory
Water flow ☒ Satisfactory
Moisture stains present ☒ No
Doors ☒ Satisfactory
Window ☒ None
Receptacles present ☒ Yes Operable: ☒ Yes
GFCI ☒ Yes Operable: ☒ Yes
Open ground/Reverse polarity ☒ No
Heat source present ☒ Yes
Exhaust fan ☒ Yes Operable: ☒ Yes
Comments
Photos



"S" trap being used under sink. While common at the time of initial construction, modern day plumbing techniques recommend the replacement of S traps. This is due to the lack of seal at the trap, allowing sewer gas to penetrate through the sink. A licensed plumber should evaluate for reconfiguration.

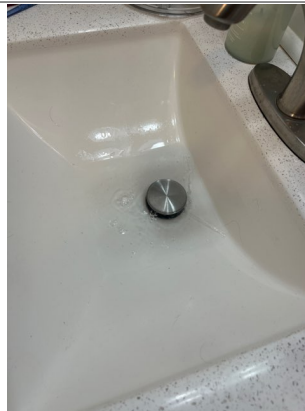
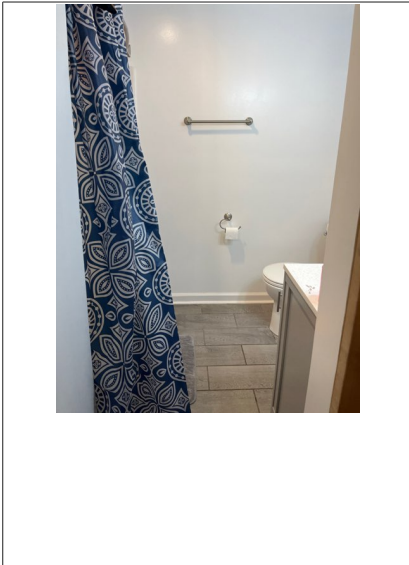


Toilet bowl was loose at the time of inspection. No apparent damage or moisture staining around the toilet or at the ceiling below this location. A licensed plumber should evaluate for any necessary corrective actions.

Bathroom (3)

Bath

Location Ground floor, off bedroom
Sinks Faucet leaks: ☒ No Pipes leak: ☒ No
Tubs Faucet leaks: ☒ No Pipes leak: ☒ Not Visible
Showers Faucet leaks: ☒ No Pipes leak: ☒ Not Visible
Toilet Bowl loose: ☒ No Operable: ☒ Yes
Whirlpool ☒ No
Shower/Tub area ☒ Fiberglass Condition: ☒ Satisfactory Caulk/Grouting needed: ☒ No
Drainage ☒ Marginal
Water flow ☒ Satisfactory
Moisture stains present ☒ No
Doors ☒ Satisfactory
Window ☒ None
Receptacles present ☒ Yes Operable: ☒ Yes
GFCI ☒ Yes Operable: ☒ Yes
Open ground/Reverse polarity ☒ No
Heat source present ☒ No
Exhaust fan ☒ Yes Operable: ☒ Yes
Photos



Drainage at sink was marginal during testing. To restore originally intended functionality, a licensed plumber should evaluate for repair.

Room (1)

Room

Location Top floor, N end

Type Bedroom

Walls & Ceiling ☒ Satisfactory

Moisture stains ☒ No

Floor ☒ Satisfactory

Ceiling fan ☒ Satisfactory

Electrical Switches: ☒ Yes ☒ Operable Receptacles: ☒ Yes ☒ Operable
Open ground/Reverse polarity: ☒ No

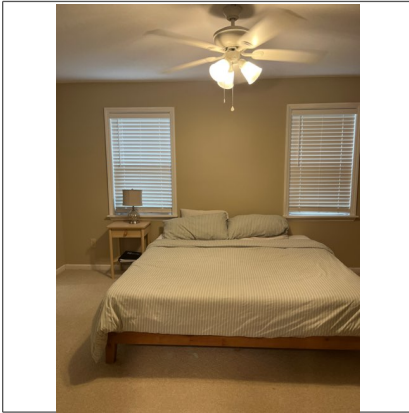
Heating source present ☒ Yes

Bedroom Egress restricted ☒ No

Doors ☒ Satisfactory

Windows ☒ Satisfactory

Photos



Room (2)

Room

Location Top floor, E end

Type Bedroom

Walls & Ceiling ☒ Satisfactory

Moisture stains ☒ No

Floor ☒ Satisfactory

Ceiling fan ☒ Satisfactory

Electrical Switches: ☒ Yes ☒ Operable Receptacles: ☒ Yes ☒ Operable
Open ground/Reverse polarity: ☒ No

Heating source present ☒ Yes

Bedroom Egress restricted ☒ No

Doors ☒ Satisfactory

Windows ☒ Satisfactory

Photos



Room (3)

Room

Location Ground floor, NE corner

Type Bedroom

Walls & Ceiling ☒ Satisfactory

Moisture stains ☒ No

Floor ☒ Satisfactory

Ceiling fan ☒ None

Electrical Switches: ☒ Yes ☒ Operable Receptacles: ☒ Yes ☒ Operable
Open ground/Reverse polarity: ☒ No

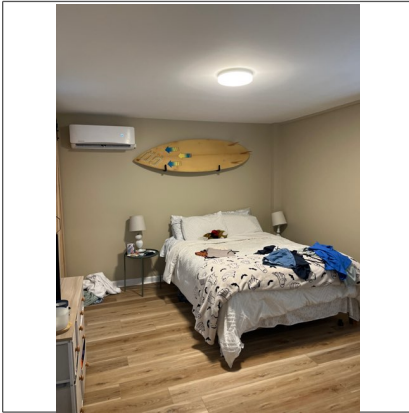
Heating source present ☒ Yes

Bedroom Egress restricted ☒ No

Doors ☒ Satisfactory

Windows ☒ Satisfactory

Photos



Interior

Fireplace

Stairs/Steps/Hallways

Hallways Condition ☒ Satisfactory

Handrail ☒ Marginal

Risers/Treads ☒ Satisfactory

Photos



Smoke/Carbon Monoxide detectors

Smoke Detector ☒ Present Operable: ☒ Yes

CO Detector ☒ Present Operable: ☒ Yes

Attic/Structure/Framing/Insulation

Access ☒ Scuttlehole/Hatch

Inspected from ☒ In the attic

Location ☒ Hallway

Flooring ☒ Partial

Insulation ☒ Fiberglass ☒ Batts

Installed in ☒ Between ceiling joists

Vapor barriers ☒ Not Visible

Ventilation ☒ Ventilation appears adequate

Fans exhausted to Attic: ☒ Yes ☒ No Outside: ☒ Yes ☒ No

HVAC Duct ☒ Satisfactory

Chimney chase ☒ N/A

Structural problems observed ☒ No

Roof structure ☒ Trusses

Ceiling joists ☒ Wood

Sheathing ☒ Plywood

Evidence of condensation ☒ No

Evidence of moisture ☒ No

Evidence of leaking ☒ No

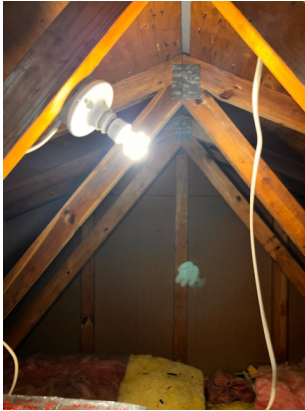
Firewall between units ☒ No

Electrical ☒ No apparent defects

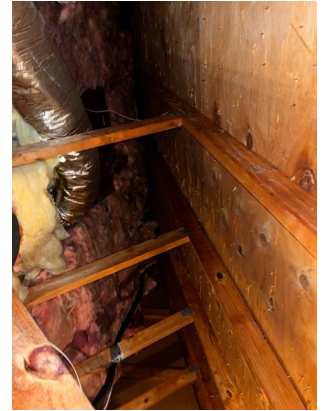
Photos

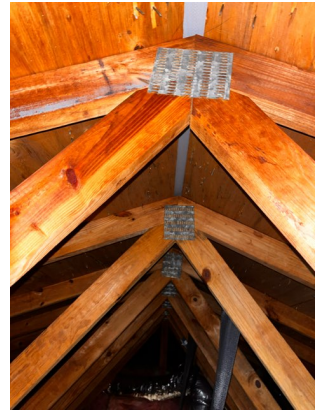


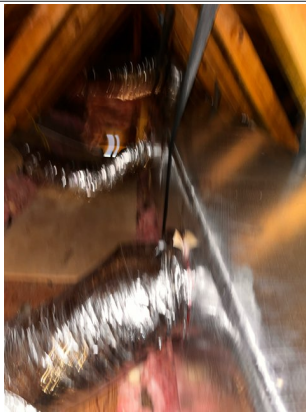
Scuttlehole access was not large enough. Generally accepted safe building practices recommend scuttlehole access no smaller than 20"x30" if there is a mechanical system in the attic. Current installation has the access at 22"x21". To ensure hvac professionals can remove existing air handler in attic when time to replace, a licensed repair professional should evaluate scuttlehole access and make any necessary corrective actions.



Exhaust ducting from top floor NW bathrooms fan terminates into the attic. These ducts should be routed to terminate at the exterior. Current installation has all the humidity and moisture from the bathroom, exhausting into the attic. To ensure no moisture problems occur, a licensed repair professional should reconfigure termination point of the exhaust duct to the exterior.







Plumbing

Water service

Main shut-off location Within water meter enclosure at the SW corner of the property

Water entry piping ☒ Not Visible

Lead other than solder joints ☒ No

Visible water distribution piping ☒ Copper ☒ PEX Plastic

Condition ☒ Satisfactory

Flow ☒ Satisfactory

Pipes Supply/Drain ☒ Satisfactory

Drain/Waste/Vent pipe ☒ ABS

Condition ☒ Satisfactory

Support/Insulation ☒ N/A

Traps proper P-Type ☒ Yes

Drainage ☒ Satisfactory

Interior fuel storage system ☒ N/A

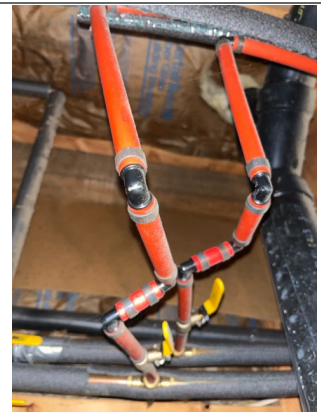
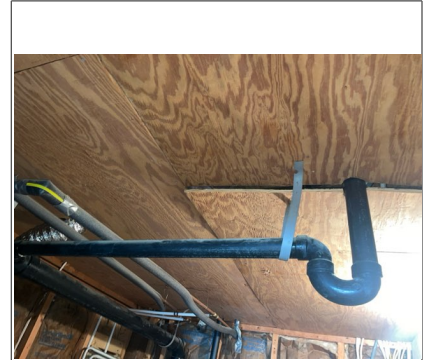
Fuel line ☒ N/A

Condition ☒ N/A

Photos



Main water shutoff is located within water meter enclosure at the SW corner of the property





ABS plumbing used for drain, waste and vent plumbing at exterior is exposed to direct sunlight at ground floor NNW exterior. These plumbing materials are not designed for exposure to sunlight, leading to premature deterioration. A licensed plumber should evaluate and make any necessary corrective actions to ensure plumbing at these locations continue to operate as intended.



Sump discharge pipe is improperly installed. Current installation has the sump terminating into the drain, waste and vent pipes for the septic system. Generally accepted best plumbing practices recommend that the discharge point be separate from the dwv system. When connected, as is currently, the sump can overload the dwv/septic system and cause an overload. A licensed plumber should evaluate current design of sump system and make any necessary corrective actions



Sump not tested and it's functionality is excluded from the inspection.



Plumbing

Main fuel shut-off location

Water heater #1

General

Brand Name:A O Smith
Serial #: 2003117785334
Capacity:40 gallons
Approx. age:5 years old
Location:
Within ground floor exterior utility room

Type

☒ Electric

Combustion air venting present

☒ N/A

Seismic restraints needed

☒ N/A

Relief valve

☒ No Extension proper: ☒ Missing ☒ Recommend repair

Vent pipe

☒ N/A

Condition

☒ Marginal

Comments

Unit operated succesfully at the time of inspection. Upper and lower heating elements functioned at the time of inspection.

Photos





Expansion Tank not installed at the topside of unit. Generally accepted safe plumbing practices recommend a thermal expansion tank be installed between tank and cold water shutoff. A licensed plumber should evaluate for installation of a thermal expansion tank at this location,



Temperature pressure relief valve is not installed at water heater. Safety hazard. Tprv is typically installed to relieve pressure in the tank if a malfunction occurs. This can save the tank from combustion in an emergency situation. Recommend a licensed plumber evaluate for installation of a temperature pressure relief valve.



Rust observed at the base of tank at multiple locations. No damage apparent or moisture detected via moisture meter at any of these areas at the time of inspection. Recommend a licensed plumber should evaluate tank at this location and make any necessary corrective actions to extend useful lifespan of the unit.



Electric/Cooling System

Main panel

Location N wall of ground floor exterior storage room

Condition ☒ Satisfactory

Amperage/Voltage ☒ 200a

Adequate Clearance to Panel ☒ Yes

Breakers/Fuses ☒ Breakers

Appears grounded ☒ Yes

GFCI breaker ☒ No

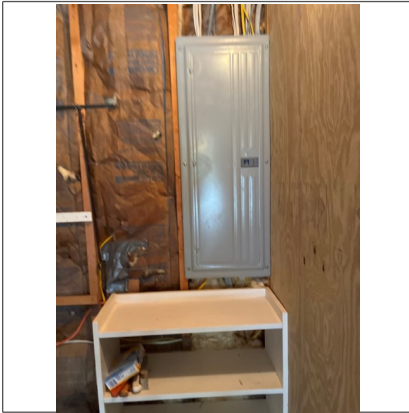
AFCI breaker ☒ Yes Operable: ☒ Yes

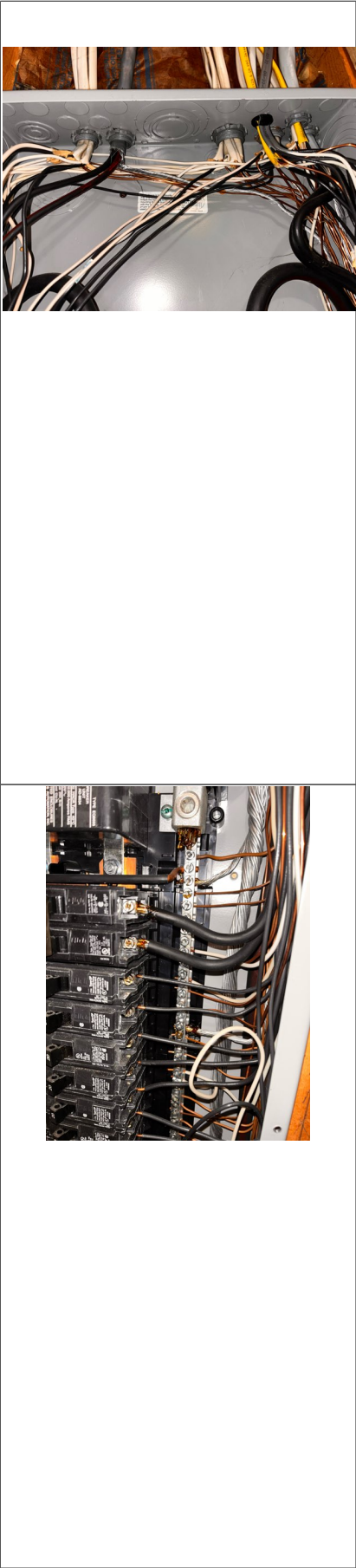
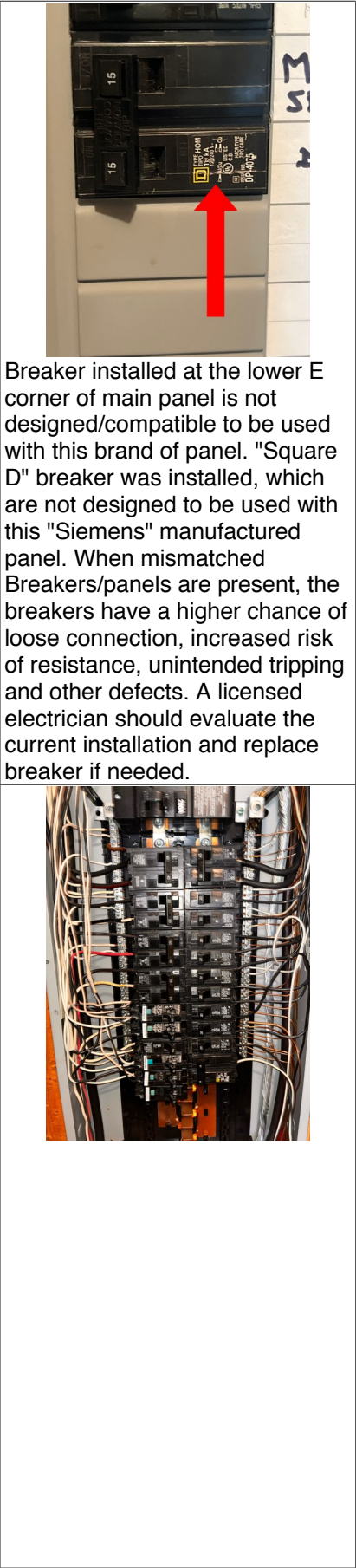
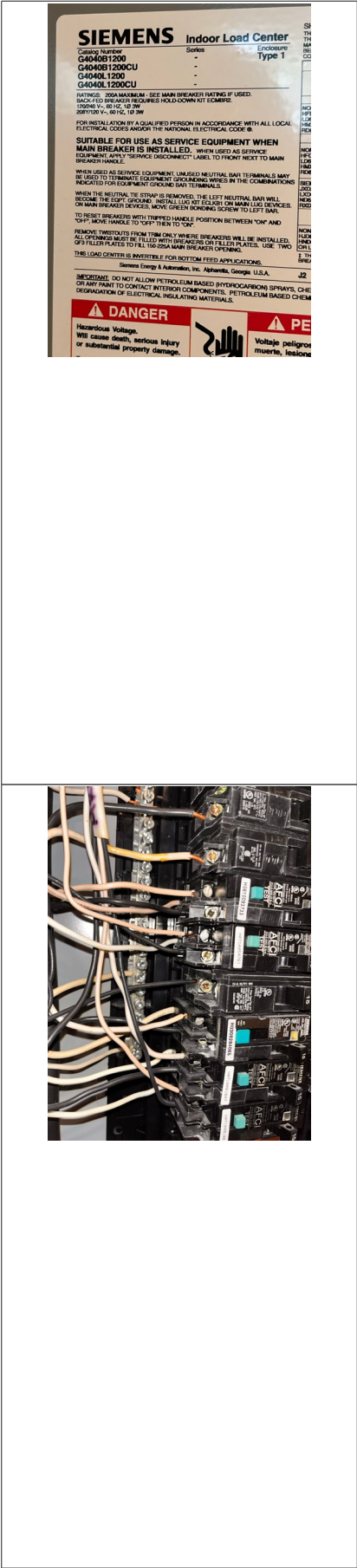
Main wire ☒ Aluminum Condition: ☒ Satisfactory

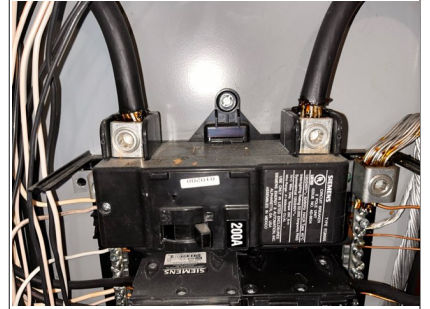
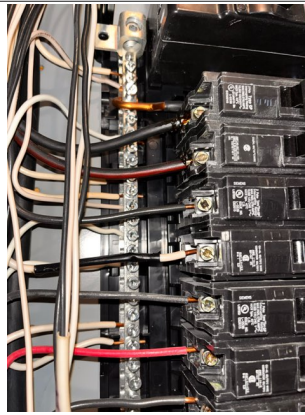
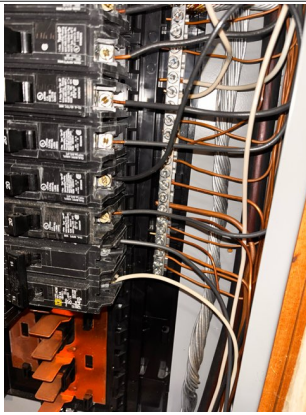
Branch wire ☒ Copper ☒ Aluminum

Branch wire condition ☒ Satisfactory

Photos







Sub panel(s)

Air Handler 1

General ☒ Central system

Location:Attic

Age:3 years old

Evaporator coil ☒ Satisfactory

Refrigerant lines ☒ Satisfactory

Condensate line/drain ☒ To exterior

Secondary condensate line/drain Present: ☒ No Needed: ☒ Yes

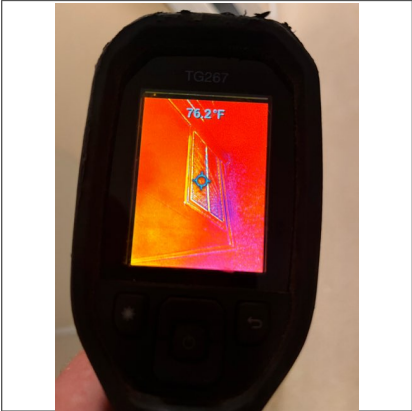
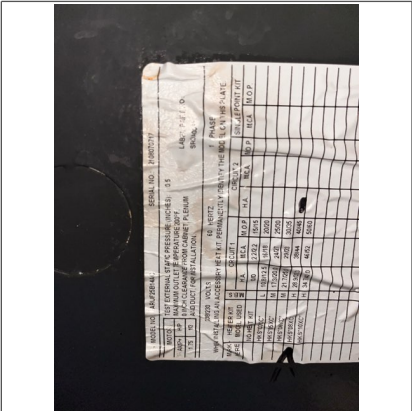
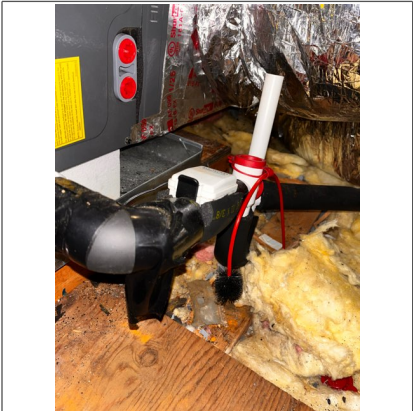
Condition ☒ Satisfactory

Comments Unit was tested in cooling mode only at the time of inspection. Heat mode was not tested. Heat mode could not be tested without damaging the unit, due to exterior temperatures.

Unit operated in a satisfactory manner at the time of inspection

Panels Removed ☒ Blower Access Panel Removed ☒ Coil Access Panel Unable To Be Removed

Photos



Air Handler 2

Electric/Cooling System

Air Handler 2 cont.

General

☒ Central system

Location: N wall of ground floor bedroom

Age: Unknown

Evaporator coil ☒ Satisfactory

Refrigerant lines ☒ Satisfactory

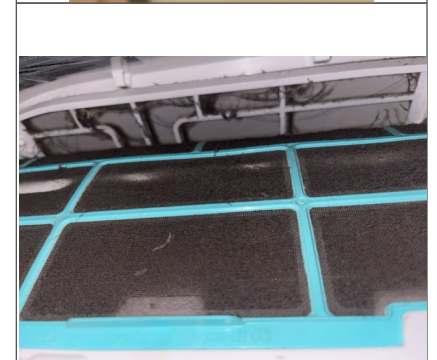
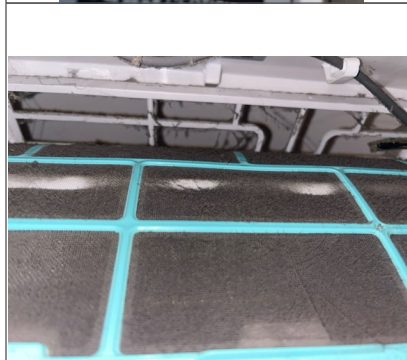
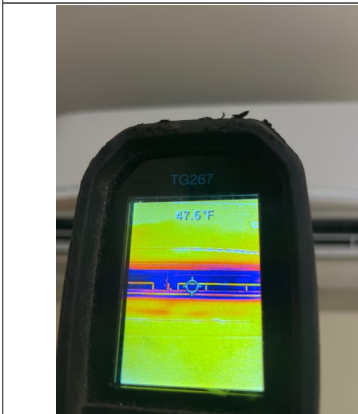
Condensate line/drain ☒ To exterior

Condition ☒ Satisfactory ☒ Recommend HVAC technician examine/clean/service

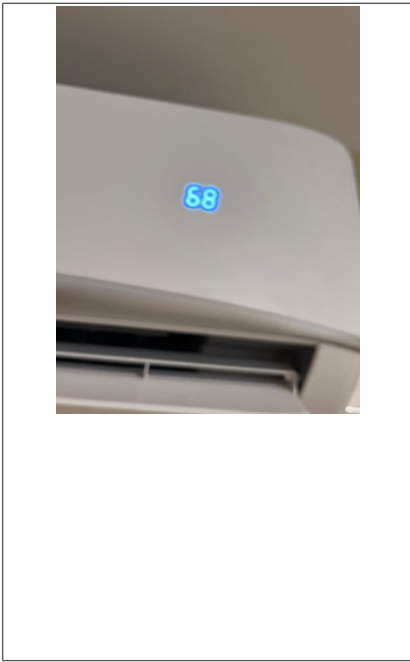
Comments Unit was tested in cooling mode only at the time of inspection. Heat mode was not tested. Heat mode could not be tested without damaging the unit, due to exterior temperatures.

Unit operated in a satisfactory manner at the time of inspection

Photos



Filters at the unit was dirty and clogged. When proper airflow is not achieved, it can negatively affect functionality and effectiveness of the system during operation. Recommend cleaning filters throughout unit for enhanced usage.



Living Room (1)

Living Room

Location Top floor, SE corner

Walls & Ceiling ☒ Satisfactory

Moisture stains ☒ No

Floor ☒ Satisfactory

Ceiling fan ☒ Satisfactory

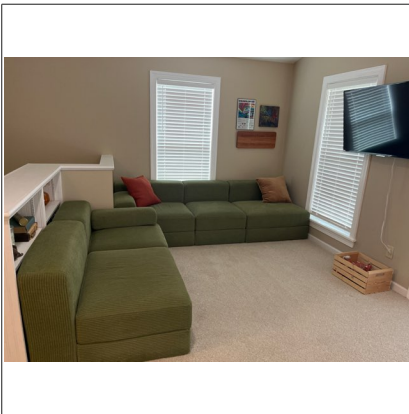
Electrical Switches: ☒ Yes ☒ Operable Receptacles: ☒ Yes ☒ Operable
Open ground/Reverse polarity: ☒ No

Heating source present ☒ Yes

Doors ☒ Satisfactory

Windows ☒ Satisfactory

Photos



Living Room (2)

Dining Room

Location Ground floor, S end

Walls & Ceiling ☒ Satisfactory

Moisture stains ☒ No

Floor ☒ Satisfactory

Ceiling fan ☒ Satisfactory

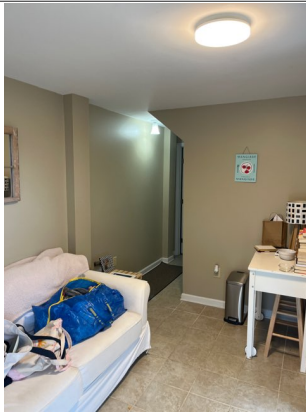
Electrical Switches: ☒ Yes ☒ Operable Receptacles: ☒ Yes ☒ Operable
Open ground/Reverse polarity: ☒ No

Heating source present ☒ No

Doors ☒ Marginal ☒ Broken/Missing hardware

Windows ☒ Satisfactory

Photos



Lower Locking mechanism at the more W French door did not lock into place, and was unable to connect to the threshold to secure lower end of door. To restore originally intended functionality and stability, a licensed repair professional should evaluate door and make any necessary corrective actions



Damage at the base of more W door at S wall. While still functional, a licensed repair professional should evaluate condition of the door at this location and repair/replace as needed